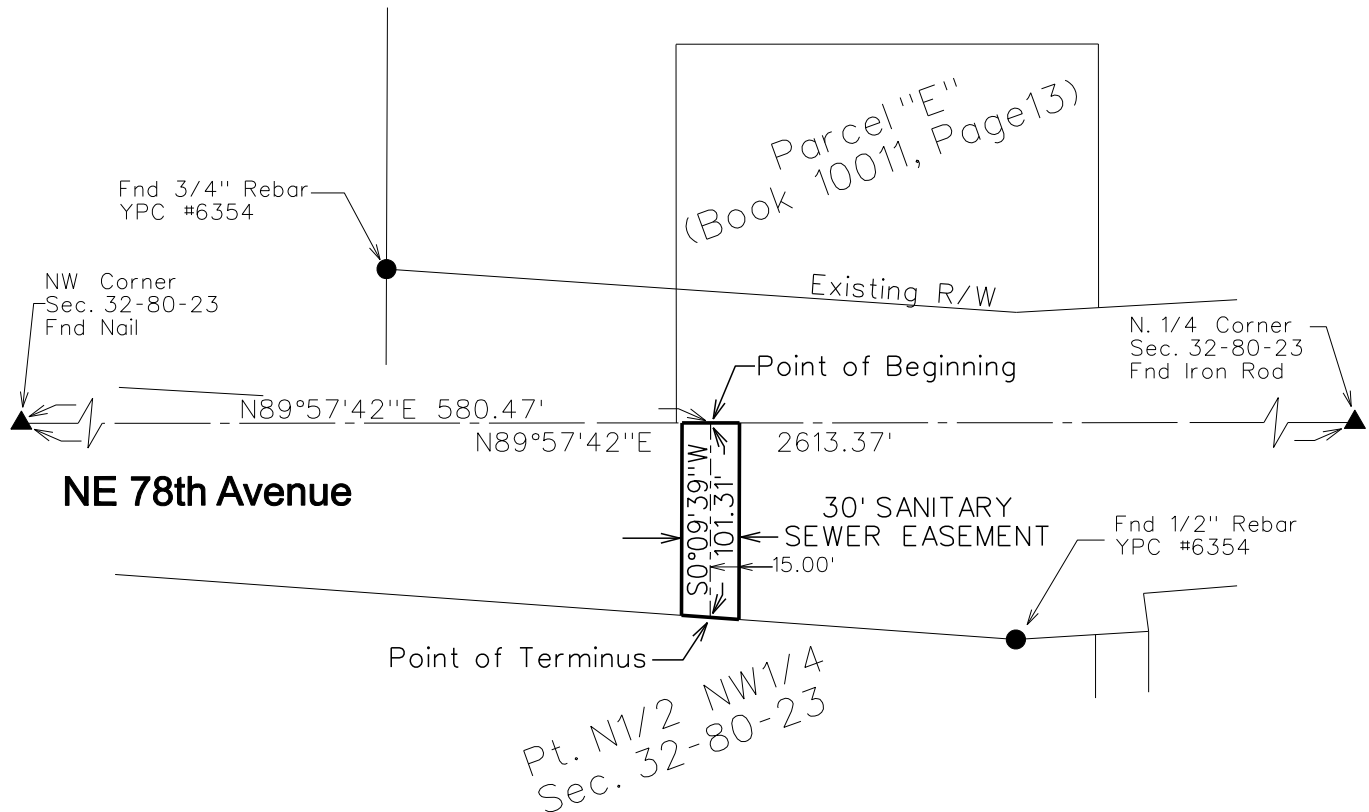


# ACQUISITION PLAT

OF PERMANENT EASEMENT BEING CONVEYED TO DES MOINES  
METROPOLITAN WASTEWATER RECLAMATION AUTHORITY.  
SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION.

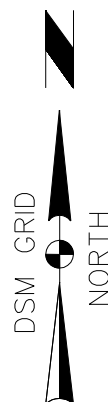


## LEGEND

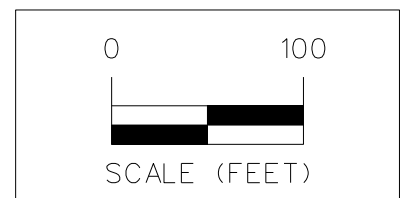
### Survey

Found Section Corner, as Noted  
Found Monument, as Noted  
Set 1/2" Rebar w/ Orange Cap #11579  
Calculated Point  
Platted Distance  
Measured Bearing & Distance  
Recorded As  
Section Line  
Property Line  
Sanitary Sewer Centerline  
Sanitary Sewer Easement Line

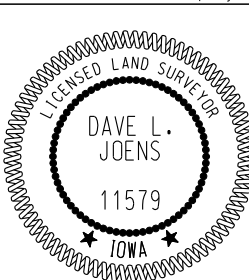
▲  
●  
○  
+  
P  
M  
R



Date of Survey: May 21, 2009  
Tax Parcel: None  
Property Address: N/A  
Owner: City of Ankeny  
410 W. 1st Street  
Ankeny, IA 50023-1557



7/28/2009 J:\2009\_projects\109.0206\Cadd\Plats\Parcel 3203 78th Ave.eas



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Dave L. Joens, PLS Date  
License Number 11579  
My License Renewal Date is December 31, 2010  
Pages or sheets covered by this seal:  
Sheets 1 and 2



**SNYDER & ASSOCIATES**  
ENGINEERS 2727 SW SNYDER BLVD.  
PLANNERS ANKENY, IA 50023 (515) 964-2020

**EXHIBIT PE-3203**

ACTIVITY ID. 01-2009-10

FOUR MILE INTERCEPTOR - PHASE 24  
SEGMENT 3 & 4 W R A SHEET 1 OF 2

REV/BY

# ACQUISITION PLAT

OF PERMANENT EASEMENT BEING CONVEYED TO DES MOINES  
METROPOLITAN WASTEWATER RECLAMATION AUTHORITY.

## PERMANENT SANITARY SEWER EASEMENT DESCRIPTION:

A PART NE 78TH AVENUE RIGHT-OF-WAY IN SECTION 32, TOWNSHIP 80 NORTH,  
RANGE 23 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF  
THE CITY OF ANKENY, POLK COUNTY, IOWA AND BEING 15.00 FEET ON EACH SIDE  
OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE NORTH  
89° (DEGREES) 57' (MINUTES) 42" (SECONDS) EAST ALONG THE NORTH LINE OF THE  
NORTHWEST 1/4 OF SAID SECTION 32, A DISTANCE OF 580.47 FEET TO THE POINT  
OF BEGINNING; THENCE SOUTH 0°09'39" WEST, 101.31 FEET TO A POINT ON THE  
SOUTH RIGHT-OF-WAY LINE OF SAID NE 78TH AVENUE AND TO THE POINT OF  
TERMINUS AND CONTAINING 0.07 ACRES (3,039 S.F.).

		SNYDER & ASSOCIATES ENGINEERS 2727 SW SNYDER BLVD. PLANNERS ANKENY, IA 50023 (515) 964-2020
		EXHIBIT PE-3203
		ACTIVITY ID. 01-2009-10
		FOUR MILE INTERCEPTOR - PHASE 24
REV/BY		SEGMENT 3 & 4 W R A SHEET 2 OF 2